

July 19, 2017

Mr. Adam Weinstein
Planning Manager
City of Pleasanton
200 Old Bernal Avenue
Pleasanton, CA 94566

Re: Staples Ranch – Pleasanton Dealership – Chrysler Dodge Jeep, Pleasanton, California

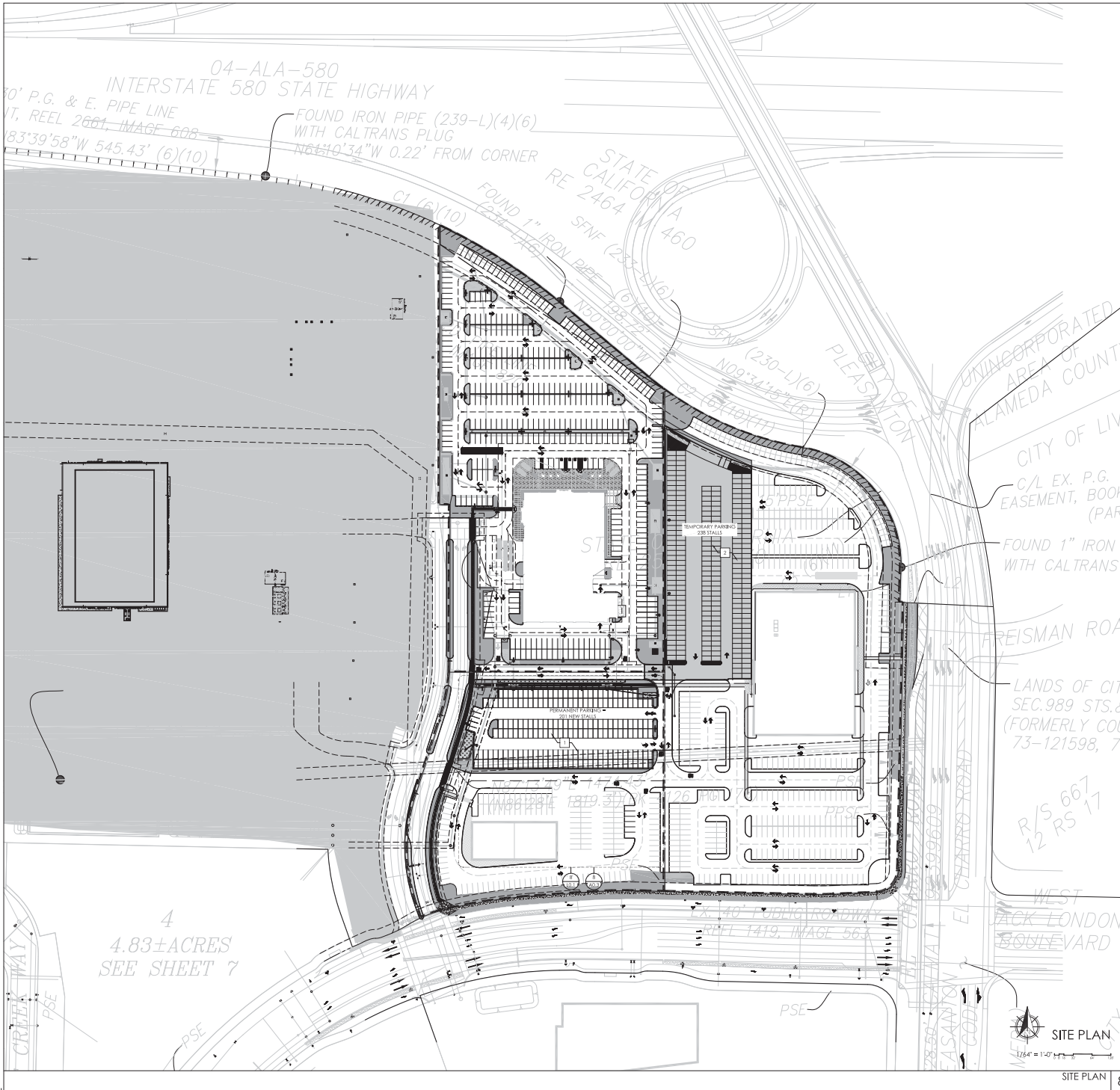
Dear Adam:

Per your request in addition to submittal of the PUD drawings for the additional 201 display vehicles spaces that will be on the south of the existing Chrysler Dodge Jeep dealership. We also included a site plan showing the whole site with the addition of proposed plan for future development of the adjacent dealership. These additional 201 parking spaces will serve the existing dealership until the future dealership on Lot 2 is constructed which at that point the two dealerships will separate the parking spaces. The last two rows on the South side of the additional parking will serve the future development of the dealership. There will be a total of 71 out of 201 parking spaces given to the new development. However, at any given time in the future, if the new dealership requires additional parking, Chrysler will do anything to accommodate their need and will give back as many parking to meet their requirements.

The proposed building on Lot 2 shown on this site plan is approximately 14,200 square feet with service department of 4,200 SF and a 2-story showroom/office of 10,000 SF. The dealership on Lot 2 will have its own 17 visitor parking stalls and 18 employee stalls while the remaining display parking stalls will be added to the total parking as mentioned above. There will be a total of 200 parking for the proposed future dealership which includes 17 visitor parking, 18 employee parking, 71 parking from the additional parking by Chrysler and remaining of 94 display/service parking. For your reference, we have included a proposed site plan design with the location of the building, parking stalls and potential circulation strategy.

With a slight modification to landscape, we are now proposing to extend the shrubs on Stoneridge drive around the parameter to match the more dense area. Chrysler has hired a new landscape maintenance team to provide better care for the existing and new landscape and has arranged to closely monitor the irrigation time and date.

Best regards,
Mathew Zaheri



LEGEND

--- PROPERTY LINE

SHEET NOTES

- 1 NEW PERMANENT PARKING
- 2 TEMPORARY PARKING



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PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS

PLANNING SUBMITTAL	09.01.16
PLANNING REVIEW	07.17.17

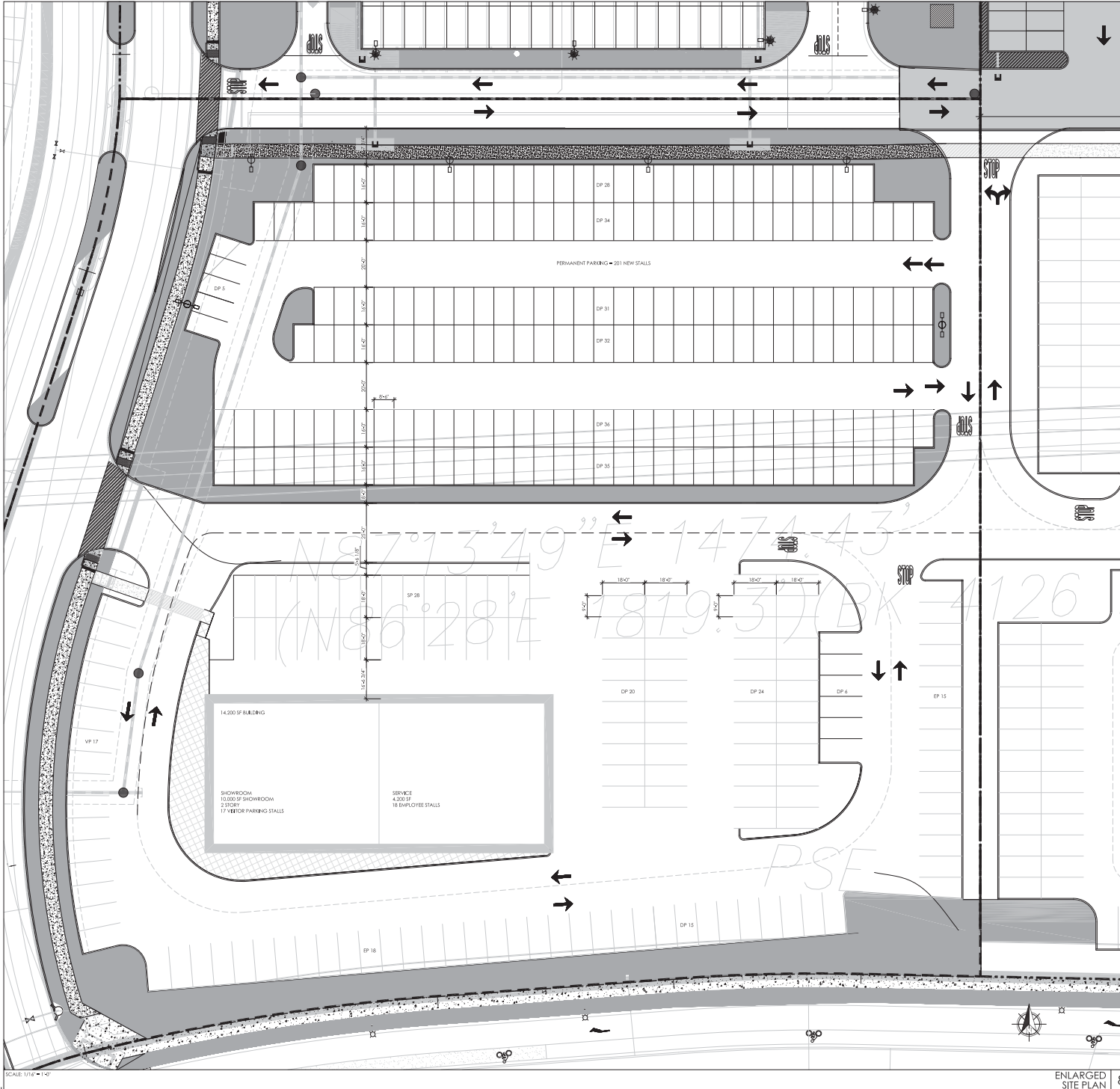
SITE PLAN

Date	09.01.16
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Drawn	
As	1328-1
Sheet	

A0.2



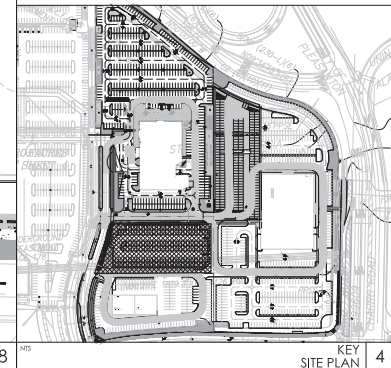
SITE PLAN



LEGEND

--- PROPERTY LINE

SHEET NOTES



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PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS

PLANNING SUBMITAL	09.01.16
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SITE PLAN

Date	09.01.16
Scale	
Drawn	1328-1
Sheet	

A0.3

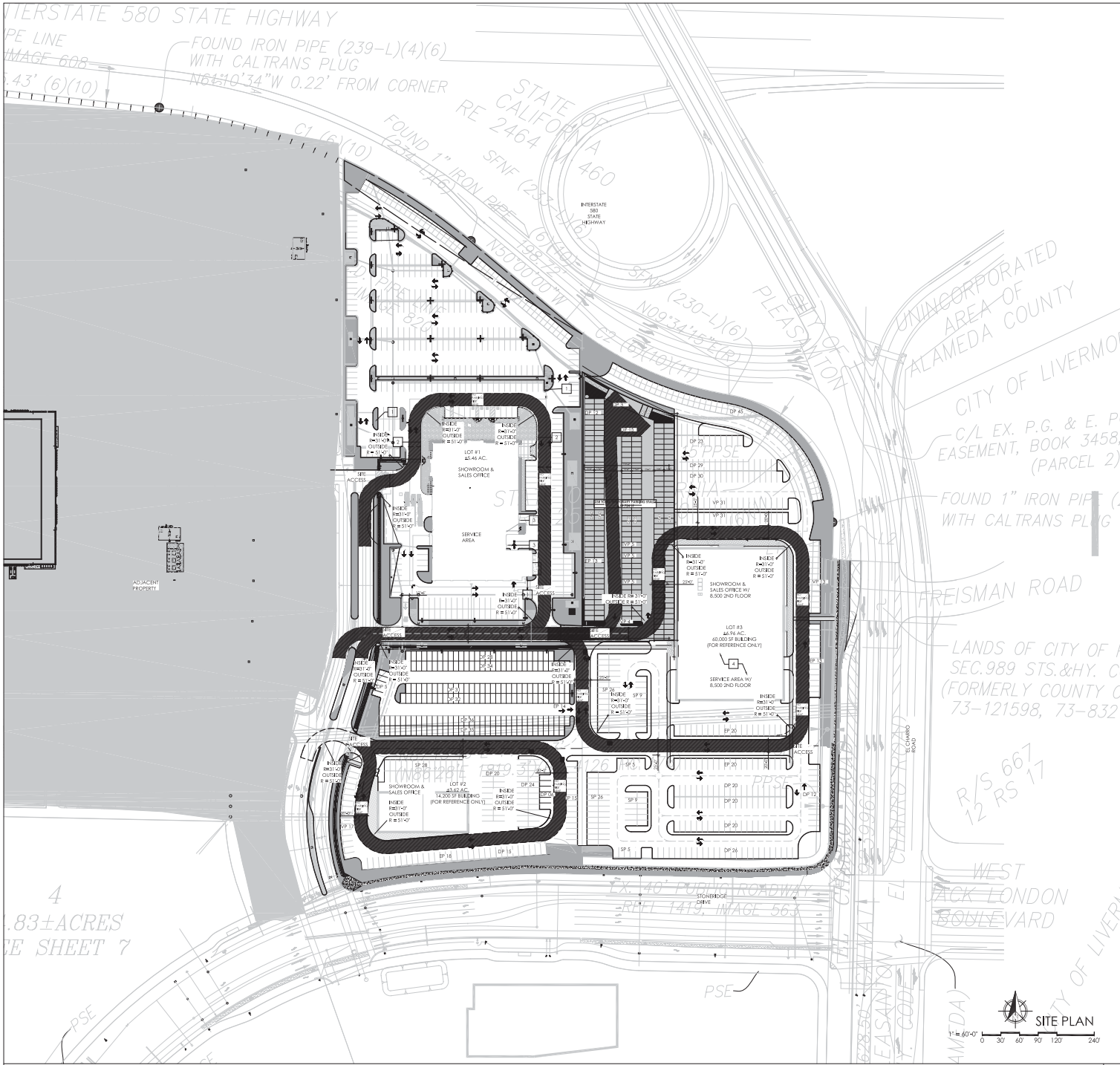
ENLARGED SITE PLAN 8

KEY SITE PLAN 4

SITE NOTES

1328-1 JOHNSON SHOPPING CENTER (REVISED) DWG

SCALE: 1/16" = 1'-0"



LEGEND

- LP SPECIAL
- PHASE BLANDSCAPE
- PHASE PAVED WALK WAY
- PHASE CONCRETE WALK WAY
- PAVED WALK WAY NOT IN PHASE SCOPE OF WORK
- CONCRETE WALK WAY NOT IN PHASE SCOPE OF WORK
- LANDSCAPE NOT IN PHASE SCOPE OF WORK

KEYNOTE

- 1 FIRE HYDRANT LOCATION
- 2 PROVIDE RED CURB STRIPING AND SIGN IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS
- 3 PROVIDE INOX BOX IN ACCORDANCE TO LOCAL FIRE DEPARTMENT ORDINANCE

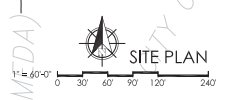
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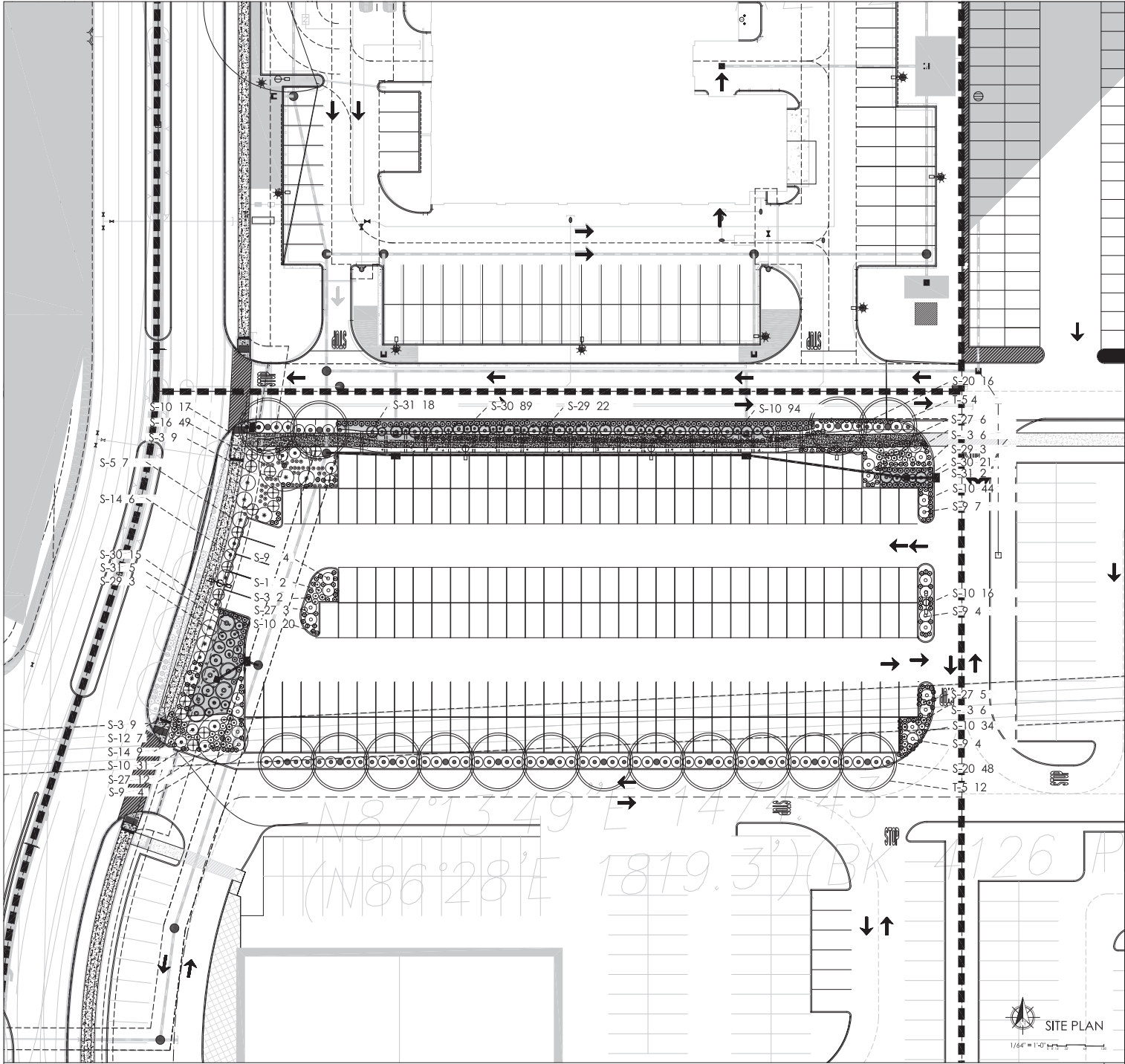
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PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS	
PLANNING SUBMITTAL	09.01.16
PLANNING REVIEW	07.17.17
EMERGENCY VEHICLE EXHIBIT	
Date	09.01.16
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Drawn	
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JEEP - DODGE - CHRYSLER CENTER (MAY 2016)



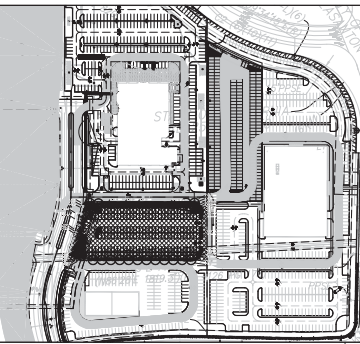
LEGEND

--- PROPERTY LINE

X PARKING STALLS



SITE PLAN
1/8" = 1'-0"



KEY SITE PLAN



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PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS
PLANNING SUBMITTAL 09.01.16
PLANNING REVIEW 07.17.17

LANDSCAPING PLAN

Date: 09.01.16
Scale:
Drawn:
As: 1328-1
Sheet:

L0.1

SITE NOTES

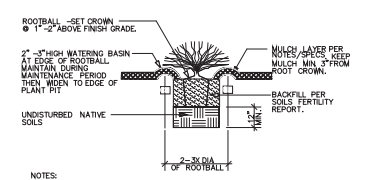
JEEP, DODGE SHOPPING CENTER (MAY 2017)

LOT 1 PLANT SCHEDULE										
SYMBOL	BOTANICAL NAME	COMMON NAME	EXPOSURE	WATER DEMAND	MINIMUM SPACING	FLOWER/FOURAGE COLOR	SIZE	SALT SPRAY TOLERANCE	SOIL SALT TOLERANCE	QUANTITIES
TREES										
1-4	<i>Pyrus calleryana</i> 'Capital'	Flowering Pear	SW	Medium	See Plan	White, Red Foliage	24" BOX	H (1)	H (1)	32
1-5	<i>Quercus agrifolia</i>	Coast Live Oak	SW	Low	See Plan	Evergreen	24" BOX	T (1)	T (1)	11
SHRUBS										
S-1	<i>Argemone</i> 'Petalum'	Blue Dwarfy-ly-of-the-Nite	SW, SW/NE	Medium	3'0"	Blue-green foliage	5 GAL	H (1)	H (1)	59
S-3	<i>Buxus microphylla</i>	Japanese Boxwood	SW/NE	Medium	3'0"	Non-descript	5 GAL	T (1)	T (1)	54
S-5	<i>Ceanothus 'Til Reyes'</i>	Spreading California Lilac	SW	Low	8'0"	Blue Blossom	5 GAL	H (2)	H (2)	11
S-9	<i>Escallonia rubra</i> 'Newport Dwarf'	Dwarf Escallonia	SW	Medium	6'0"	Pink/Evergreen	5 GAL	H (1)	H (1)	25
S-10	<i>Saxifraga 'Fragrant'</i>	Princess Red Gazania	SW	Medium	2'0"	Red/Evergreen	5 GAL	H (1)	H (1)	269
S-12	<i>Amberella horizontalis</i> 'Plumosa'	Andorra Amber	SW	Low	6'0"	Evergreen	5 GAL	H (1)	T (1)	47
S-14	<i>Lantana 'Gold Rush'</i>	Yellow Lantana	SW	Low	6'0"	Yellow/Evergreen	5 GAL	H (1)	T (1)	39
S-15	<i>Lantana montevidensis</i>	Spreading Lantana	SW	Low	6'0"	Purple/Evergreen	5 GAL	H (1)	T (1)	36
S-16	<i>Amphisp muscat</i>	Kitty Turf	SW, SW-NE	Medium	1'0"	Purple/Evergreen	5 GAL	M (1)	M (1)	220
S-20	<i>Pittosporum 'Variegatum'</i>	Variegated Fuchsia	SW/NE	Low	6'0"	White/Evergreen	5 GAL	H (1)	H (1)	42
S-25	<i>Trachelospermum jasminoides</i>	Star Jasmine	SW, SW-NE	Medium	4'0"	White/Green-Red	5 GAL	T (1)	T (1)	131
S-26	<i>Argemone 'Compacta'</i>	Spanish Bagonet	SW	Low	5'0"	White/Green	5 GAL	H (1)	H (1)	67
S-27	<i>Argemone 'Spiral'</i>	Spant 1 1/2 Turf	SW-NE	Medium	3'0"	Purple/Evergreen	5 GAL	H (1)	H (1)	21
GRASSES & GROUND COVERS FOR SWALE AND BIORETENTION BASINS										
S-28	<i>Phlox paniculata</i> 'Tectonum'	Small Viper Bush	SW/NE	Medium	4'0"	Brown/Evergreen	5 GAL	M (1)	M (1)	63
S-29	<i>Elymus glaucus</i> *	Blue Wild Rye	SW/NE	Medium	3'0"	Blue-Green/Evergreen	5 GAL	H (2)	H (2)	123
S-30	<i>Leymus triticoides</i> 'Quinta'	Creeping Wild Rye	SW/NE	Medium	2'0"	Gold/Evergreen	5 GAL	T (1)	T (1)	367
S-31	<i>Muhlenbergia gracillima</i> *	Evergrass	SW/NE	Medium	6'0"	Evergreen	5 GAL	H (1)	H (1)	84
GROUND COVERS										
GC-1	<i>Phlox paniculata</i> 'Petalum'	Starberry	SW	Low	6'0"	White/Evergreen	5 GAL	M/T (1)	M/T (1)	196
VINES										
V-1	<i>Lonicera hispidiorandana</i>	Honey Suckle Vine	SW	Medium	See Plan	Yellow/Evergreen	5 GAL	H (3)	H (3)	3
V-2	<i>Jasminum polyanthum</i>	True Jasmine Vine	SW	Medium	See Plan	White/Evergreen	5 GAL	M (3)	M (3)	4

KEY: SW = Full Sun; SW-NE = Part Shade; Light Shade; SW/NE = Sun or shade
 KEY TO RECLAIMED WATER (HIGH IN SALTS): H = Highly Tolerant; T = Tolerant; M = Moderate; S = Sensitive
 1. Source for reclaimed water tolerance: Landscape Planning Soil Tolerance Selection Guide for Reclaimed Water (Frigoli) W. Dodge 2006 California Dept of Water Resources. Reclaimed Water Use in the Landscape
 2. Source for reclaimed water tolerance: Reclaimed Water Use in the Landscape (2007, including best practices)
 3. University of California Cooperative Extension (UCCE) / Sites / Citest / Files / 2009 / Reclaimed Water / Soil Tolerance List
 Source for pH tolerance: The WUCOLS database contains information on soil tolerance for all tolerance factors (pH, EC, salinity, and nitrogen) at 600 sites
 * In accordance with Appendix 1 - Stormwater Technical Specifications Book
 ** Plant hardiness: Sensitive to frost at elevations above 2000-4000 ft. The reclaimed water source for this project is at elevations that are less than 4000 ft (see table)
 Contractor responsible for providing quantities to meet the design intent expressed in the plans

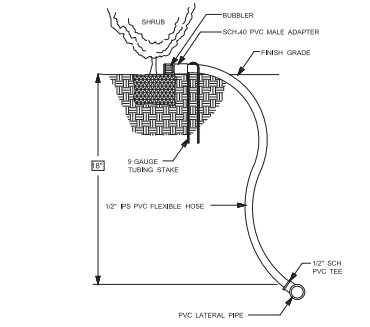
LEGEND

--- PROPERTY LINE

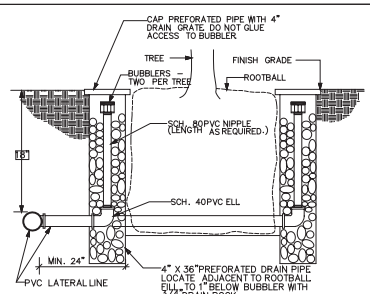


- NOTES:
 1. FOR GROUND COVER AREAS ROOTBALL AMENDMENTS AS RECOMMENDED BY SOILS REPORT TO 8" DEPTH AFTER CROSS-BRIND SUBGRADE TO 12" DEPTH
 2. SIDES AND BOTTOM OF PLANT PIT SHALL BE SCARIFIED BEFORE PLANTING
 3. ADD AS FIRM PLANT TABLETS OR APPROVED EQUAL AT MANUFACTURER'S RATES 1/3" DOWN FROM TOP OF BACKFILL

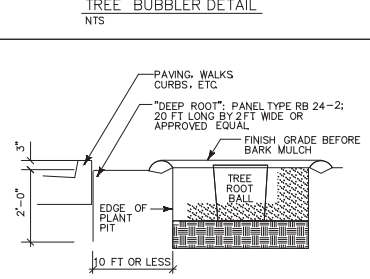
SHRUB PLANTING DETAIL
NTS



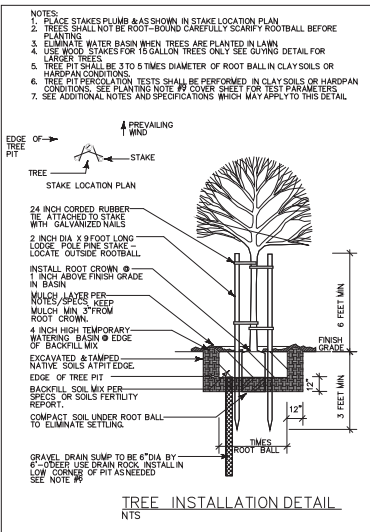
SHRUB BUBBLER DETAIL
NTS



TREE BUBBLER DETAIL
NTS



ROOT BARRIER DETAIL
NTS



- NOTES:
 1. PLACE STAKES PLUMB & AS SHOWN IN STAKE LOCATION PLAN
 2. TREES SHALL NOT BE ROOT-BOUND CAREFULLY SCARIFY ROOTBALL BEFORE PLANTING
 3. ELIMINATE WATER BASIN WHEN TREES ARE PLANTED IN LAWN
 4. USE WOOD STAKES FOR 15 GALLON TREES ONLY SEE GUYING DETAIL FOR LARGER TREES
 5. TREE PIT SHALL BE 3 TO 5 TIMES DIAMETER OF ROOT BALL IN CLAY SOILS OR HARDPAN CONDITIONS
 6. TREE PIT PERCOLATION TESTS SHALL BE PERFORMED IN CLAY SOILS OR HARDPAN CONDITIONS. SEE PLANTING NOTE #4 COVER SHEET FOR TEST PARAMETERS
 7. SEE ADDITIONAL NOTES AND SPECIFICATIONS WHICH MAY APPLY TO THIS DETAIL

EDGE OF TREE PIT
 PREVALENT WIND
 STAKE LOCATION PLAN
 24 INCH CORRUGATED RUBBER TREE GUARD TO STAKES
 2 INCH DIA X 8 FOOT LONG LODGE POLE PINE STAKE - LOCATE OUTSIDE ROOTBALL
 INSTALL ROOT CROWN 1 INCH ABOVE FINISH GRADE
 MULCH LAYER PER NOTES #2 & #3 KEEP MULCH MIN. 3" FROM ROOT CROWN
 4 INCH HIGH TEMPORARY WATERING BASIN @ EDGE OF BACKFILL MIX
 EXCAVATED & TAMPED NATIVE SOILS AT THE EDGE OF TREE PIT
 BACKFILL SOIL MIX PER SPECS. OR SOILS FERTILITY REPORT.
 COMPACT SOIL UNDER ROOT BALL TO ELIMINATE SETTLING.
 GRAVEL DRAIN SLUMP TO BE 6" DIA. BY 6" DEEPER USE DRAIN ROCK. INSTALL IN LOW CORNER OF PIT AS NEEDED
 SEE NOTE #6
 TREE INSTALLATION DETAIL
NTS



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PERMANENT PARKING & LANDSCAPING
 PLEASANTON DEALERSHIP
 CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS

PLANNING SUBMITAL	09.01.16
PLANNING REVIEWING	07.17.17

LANDSCAPING DETAILS & SCHEDULE

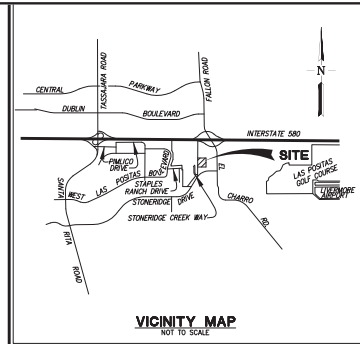
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As	1328-I
Sheet	

L0.2 SITE NOTES

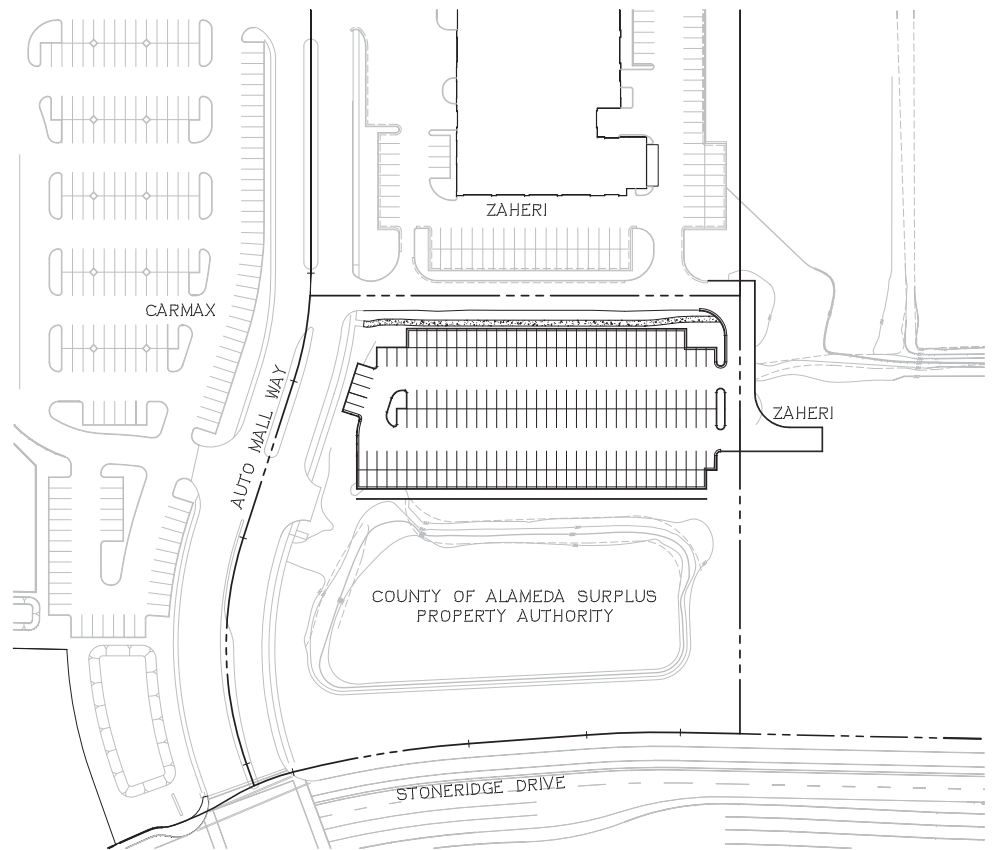
PUD SUBMITTAL

PLEASANTON DEALERSHIP-PARKING LOT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	---
---	SANITARY SEWER	---
---	POTABLE WATER	---
---	RECYCLED WATER	---
---	CURB & GUTTER	---
---	SAWCUT	---
---	SIDEWALK	---
---	EARTH OR GRASS SWALE	---
---	VALLEY GUTTER	---
---	STORM WATER INLET	---
---	DROP INLET	---
---	AREA DRAIN	---
---	BUBBLE UP	---
---	MANHOLE	---
---	SANITARY SEWER CLEAN OUT	---
---	SANITARY SEWER LATERAL	---
---	FIRE HYDRANT	---
---	BLOW OFF	---
---	WATER SERVICE WITH METER BOX	---
---	BACKFLOW DEVICE	---
---	WATER VALVE	---
---	AIR RELEASE VALVE	---
---	POST INDICATOR VALVE	---
---	FIRE DEPARTMENT CONNECTION	---
---	SINGLE ARM STREET LIGHT	---
---	DOUBLE ARM STREET LIGHT	---
---	POST TOP LIGHT	---
---	PEDESTRIAN LIGHT	---
---	MONUMENT	---
---	TRAFFIC SIGN	---
---	STREET NAME SIGN	---
---	FENCE	---
---	BARRICADE	---
---	CURB RAMP	---
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---
---	NEW ASPHALT PAVEMENT	---
---	BIO-RETENTION AREA IN LANDSCAPE AREA	---
---	BIO-RETENTION AREA ADJACENT TO SIDEWALK	---
---	BIO-RETENTION AREA IN RAISED PLANTER	---
---	SILVA CELL	---
---	IRRIGATION SLEEVE	---
---	THRU CURB DRAIN	---



ABBREVIATIONS	
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ARV	AIR RELEASE VALVE
BC	BEGINNING OF CURVE
BO	BLOWOFF
BW	BOTTOM OF WALL
CL	CENTER LINE
COM	COMMUNICATION
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DW	DOMESTIC WATER
EAE	EMERGENCY ACCESS EASEMENT
EC	END OF CURVE
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FC	FACE OF CURB
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FIRE SERVICE
FW	FIRE WATER
GE	GARAGE ELEVATION
GB	GRADE BREAK
HOPE	HIGH-DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
LF	LINEAR FOOT
LP	LOW POINT
MAX	MAXIMUM
ME	MAINTENANCE EASEMENT
MV	MANHOLE
MIN	MINIMUM
P	PAD ELEVATION
PAE	PUBLIC ACCESS EASEMENT
PAV	PAVEMENT
PCC	POINT OF COMPOUND CURVATURE
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
PMAE	PRIVATE MAINTENANCE ACCESS EASEMENT
PPAE	PRIVATE PEDESTRIAN ACCESS EASEMENT
PRC	POINT OF REVERSE CURVE
PRSE	PRIVATE SERVICES AND UTILITY EASEMENT
PSDE	PRIVATE STORM DRAIN EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PVAE	PRIVATE VEHICLE ACCESS EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
RCF	REINFORCED CONCRETE PIPE
RET	CURB RETURN
RW	RIGHT OF WAY
SD	STORM DRAIN
SS	SANITARY SEWER
SNS	STREET NAME SIGN
SL	STREET LIGHT
STA	STATION
STD	STANDARD
SW	STORM WATER INLET
SWW	SIDEWALK
SSE	SANITARY SEWER EASEMENT
TC	TOP OF CURB
TFC	TOP OF FLUSH CURB
TG	TOP OF GRATE
TMC	TOP OF MOUNTABLE CURB
TRW	TOP OF RETAINING WALL
TW	TOP OF WALL
TYP	TYPICAL
W(R)	RECYCLED WATER
WL	WATER LINE
WLE	WATER LINE EASEMENT

LOCATION MAP
NOT TO SCALE

SHEET INDEX

SHEET NO.	DESCRIPTION
C0.0	COVER SHEET
C0.1	EXISTING CONDITIONS PLAN
C1.0	PRELIMINARY SITE PLAN
C2.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C3.0	PRELIMINARY UTILITY PLAN
C4.0	PRELIMINARY STORMWATER TREATMENT PLAN
C5.0	PRELIMINARY FIRE TURNING PLAN

RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

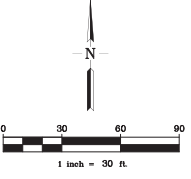
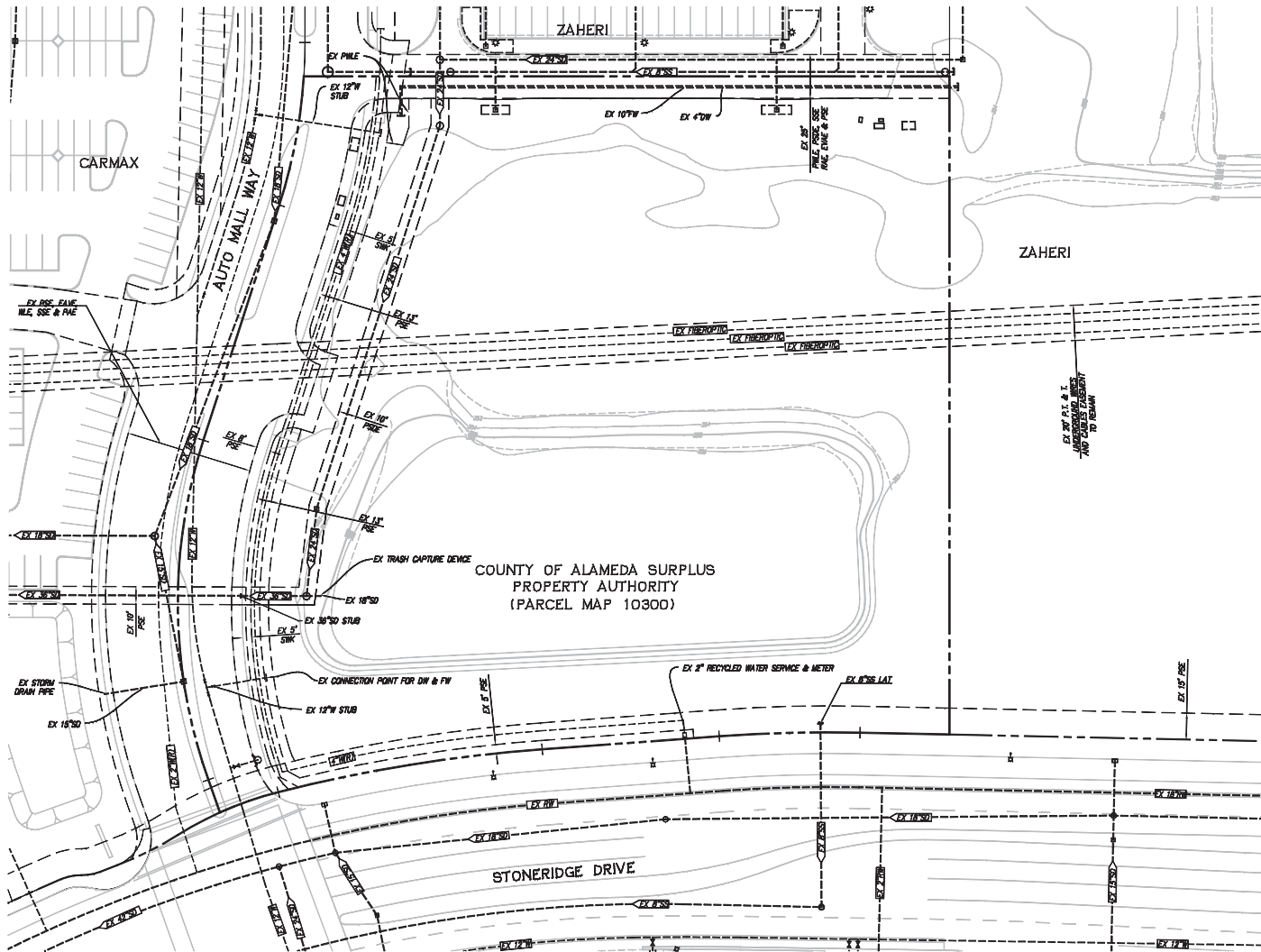
DATE: 4/24/2017

JOB NO.: 131095

SHEET NO.

C0.0

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**EXISTING CONDITIONS PLAN
PLEASANTON DEALERSHIP-PARKING LOT**

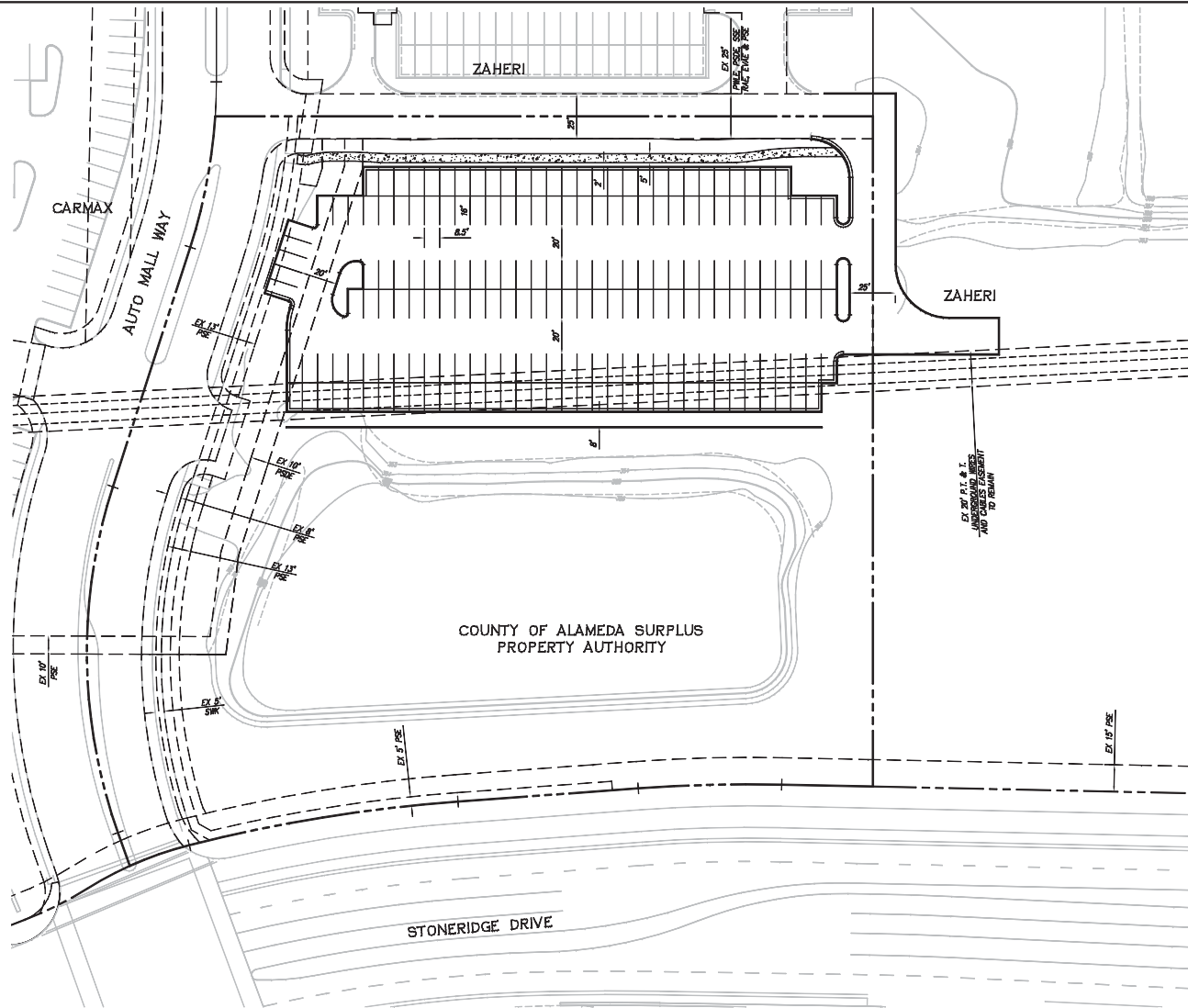
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: ASE CONSTRUCTION MANAGEMENT

RJA
RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

DATE: 4/24/2017	SHEET NO.
JOB NO.: 131095	C0.1

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**PRELIMINARY SITE PLAN
PLEASANTON DEALERSHIP-PARKING LOT**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: ASE CONSTRUCTION MANAGEMENT

RJA
RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

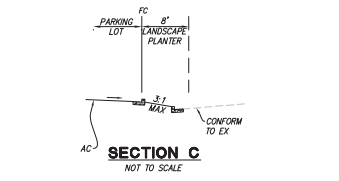
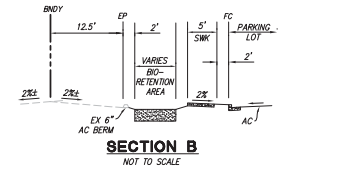
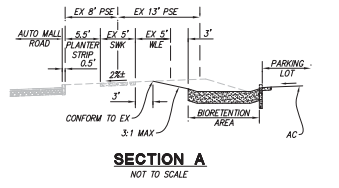
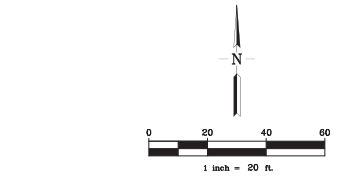
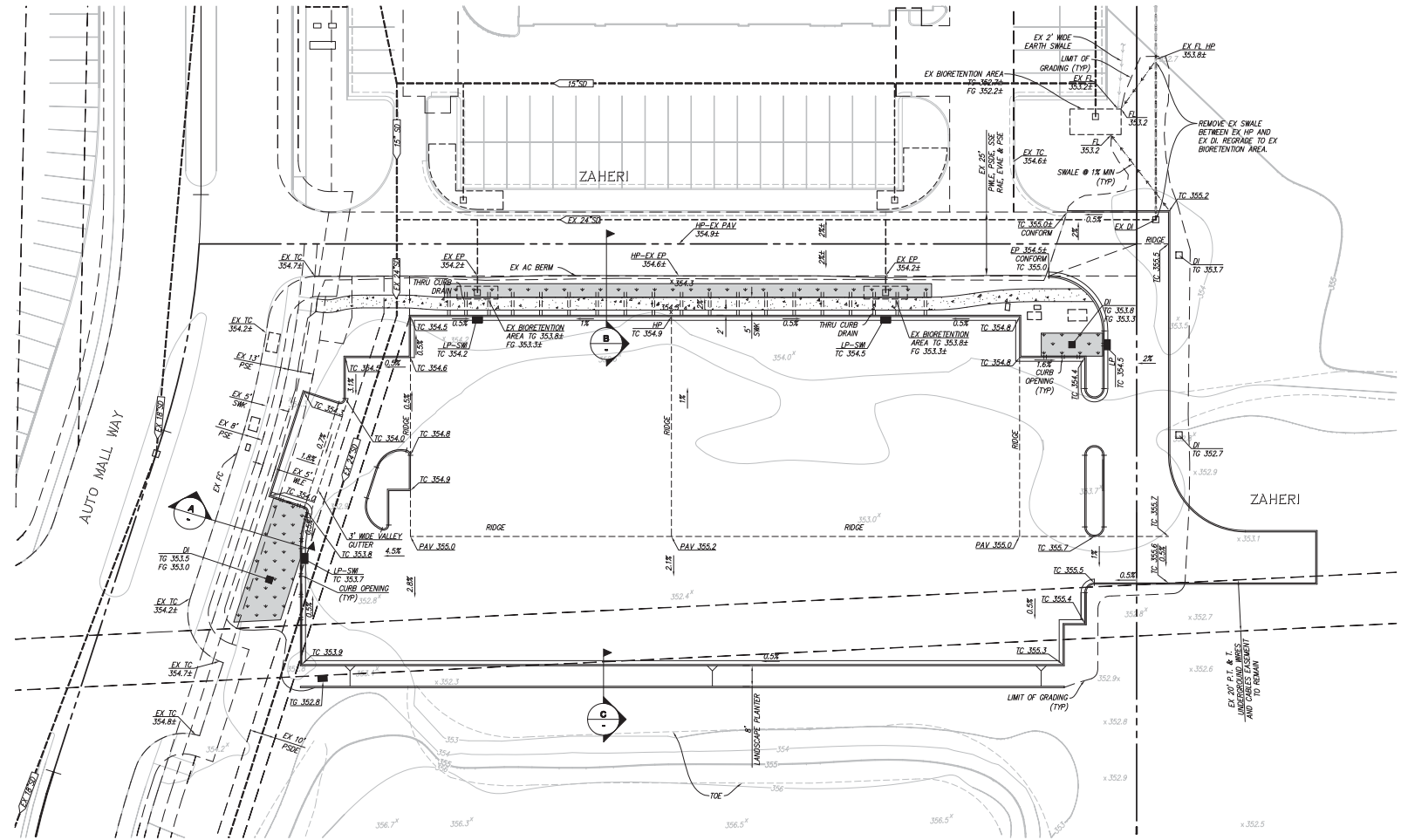
DATE: 4/24/2017

JOB NO.: 131095

SHEET NO.
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PRELIMINARY GRADING AND DRAINAGE PLAN PLEASANTON DEALERSHIP-PARKING LOT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
 FOR: ASB CONSTRUCTION MANAGEMENT



RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE: (925) 227-9100 FAX: (925) 227-9300

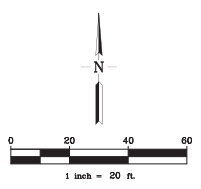
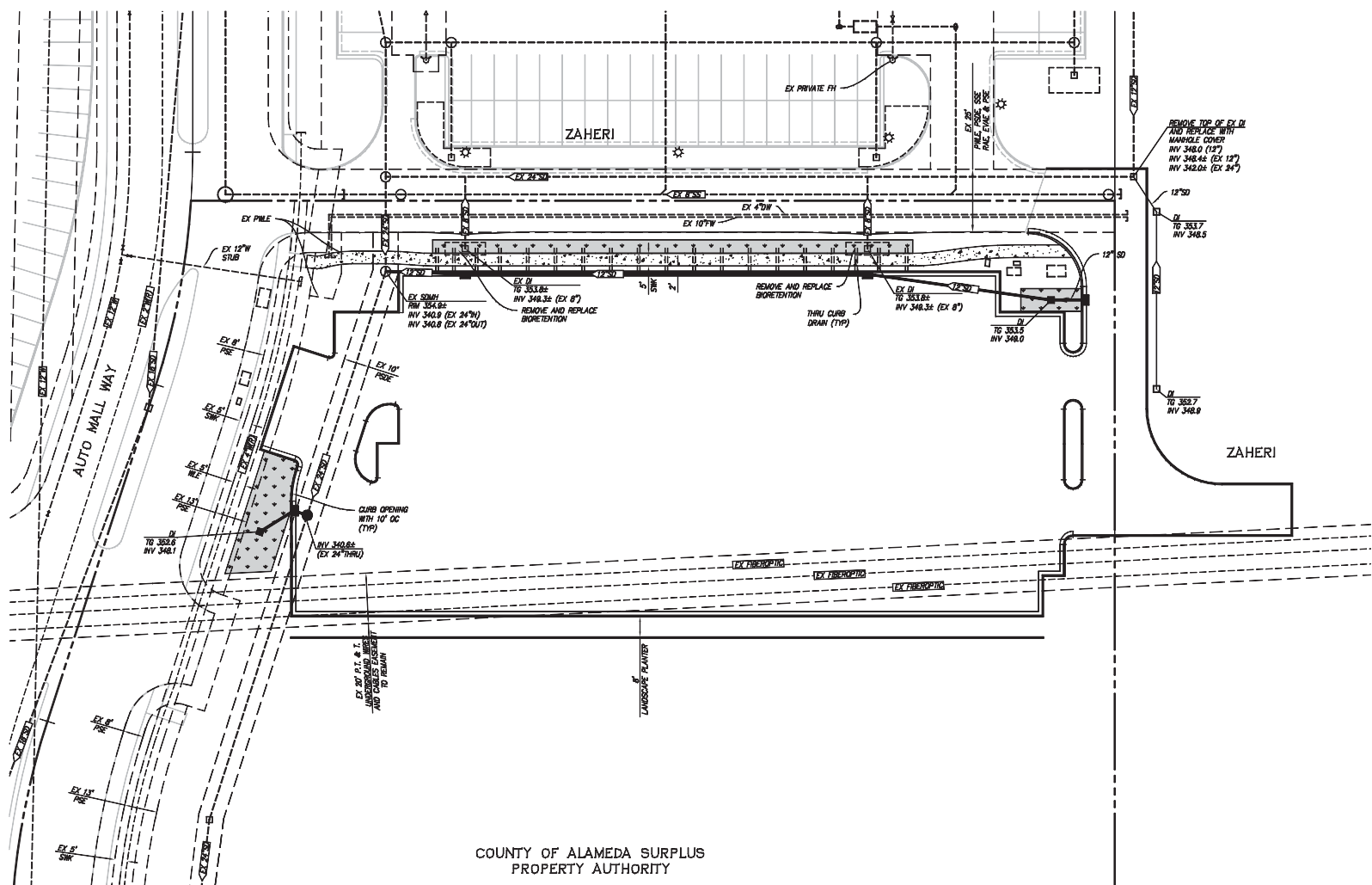
NO.	DATE	DESCRIPTION	BY

DATE: 4/24/2017

JOB NO.: 131095

SHEET NO.


C2.0



COUNTY OF ALAMEDA SURPLUS
PROPERTY AUTHORITY

PRELIMINARY UTILITY PLAN
PLEASANTON DEALERSHIP-PARKING LOT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: ASE CONSTRUCTION MANAGEMENT



RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

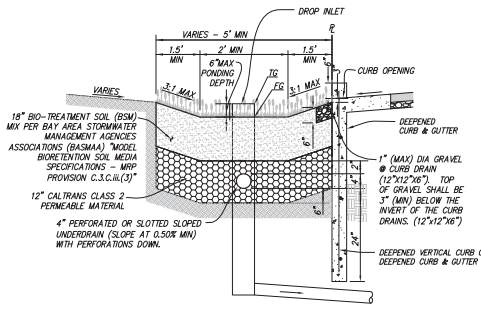
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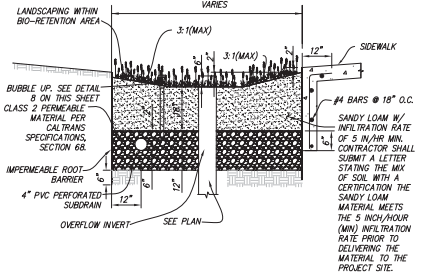
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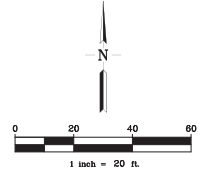
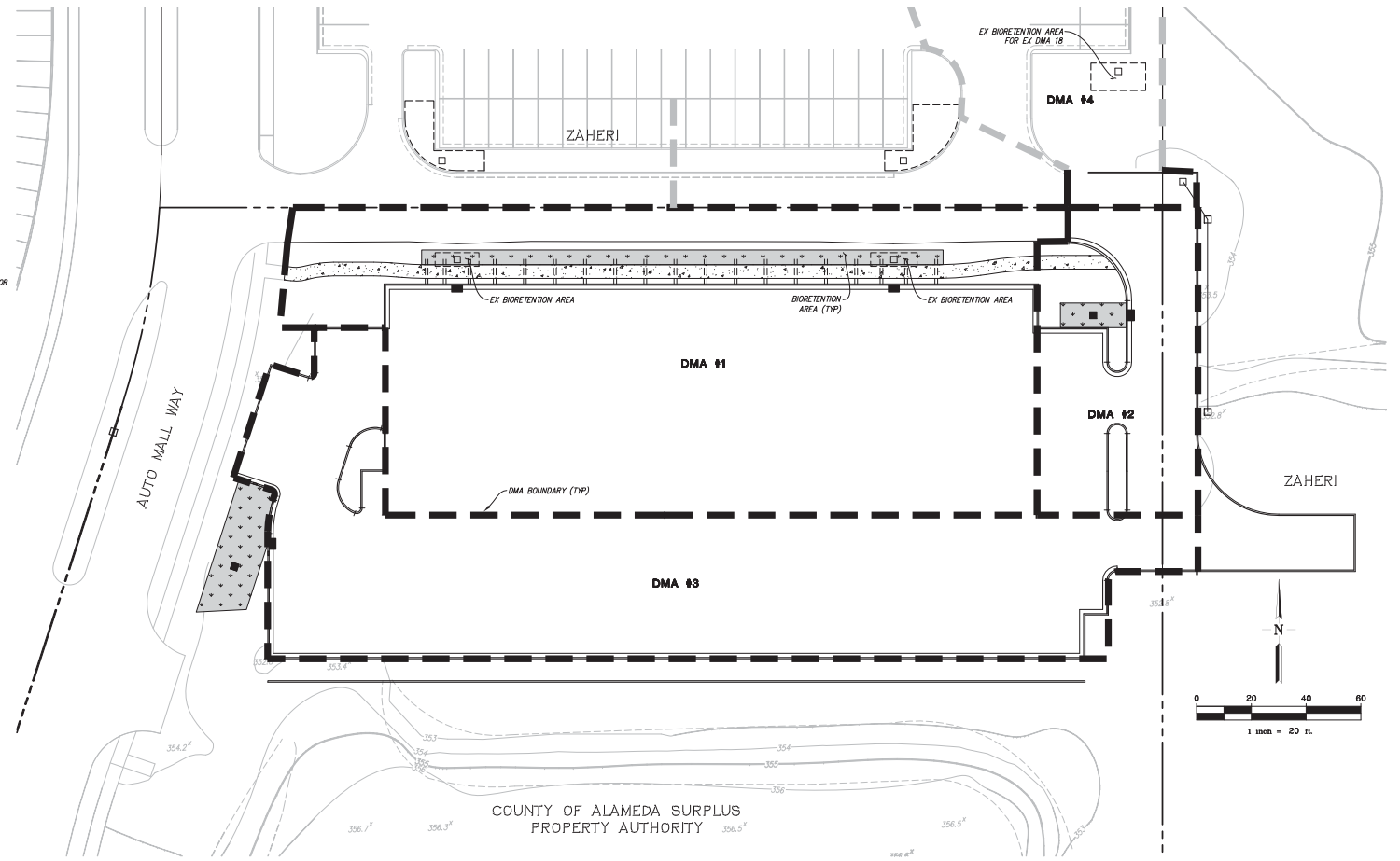


1 BIORETENTION AREA
NOT TO SCALE



NOTE: CLEANDOUT SHALL BE INSTALLED AT THE END OF THE 4" PVC PERFORATED SUBDRAIN

2 BIORETENTION AREA ADJACENT TO SIDEWALK
NOT TO SCALE



STORMWATER TREATMENT CALCULATION

DMA	SURFACE	EFFECTIVE IMPERVIOUS AREA (SF)	BMP USED	SIZING FACTOR	REQUIRED SURFACE AREA (SF)	SURFACE AREA AS PROVIDED (SF)	BIORETENTION DETAIL
DMA #1	PAVING	25,464	BIO RETENTION	0.04	1,020	1,021	SEE NOTE 1 BELOW & DETAIL 2 THIS SHEET
DMA #2	PAVING	5,310	BIO RETENTION	0.04	213	216	DETAIL 1 THIS SHEET
DMA #3	PAVING	19,380	BIO RETENTION	0.04	775	785	DETAIL 1 THIS SHEET
DMA #4	PAVING	4,166	BIO RETENTION	0.04	167	204	SEE NOTE 1 & 2 BELOW

- NOTES:
 1. REFER TO IMPROVEMENT PLANS FOR LOT 2 OF PM 10257 (PLEASANTON DEALERSHIP DODGE JEEP) FOR EXISTING BIORETENTION AREA INFORMATION AND DETAILS.
 2. EX BIORETENTION AREA FOR EX DMA 18 HAS EXTRA 62 SF OF SURFACE TREATMENT AREA THAT CAN TREAT IMPERVIOUS AREA FOR DMA 18-1.

**PRELIMINARY STORMWATER TREATMENT PLAN
 PLEASANTON DEALERSHIP-PARKING LOT**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
 FOR: ASE CONSTRUCTION MANAGEMENT

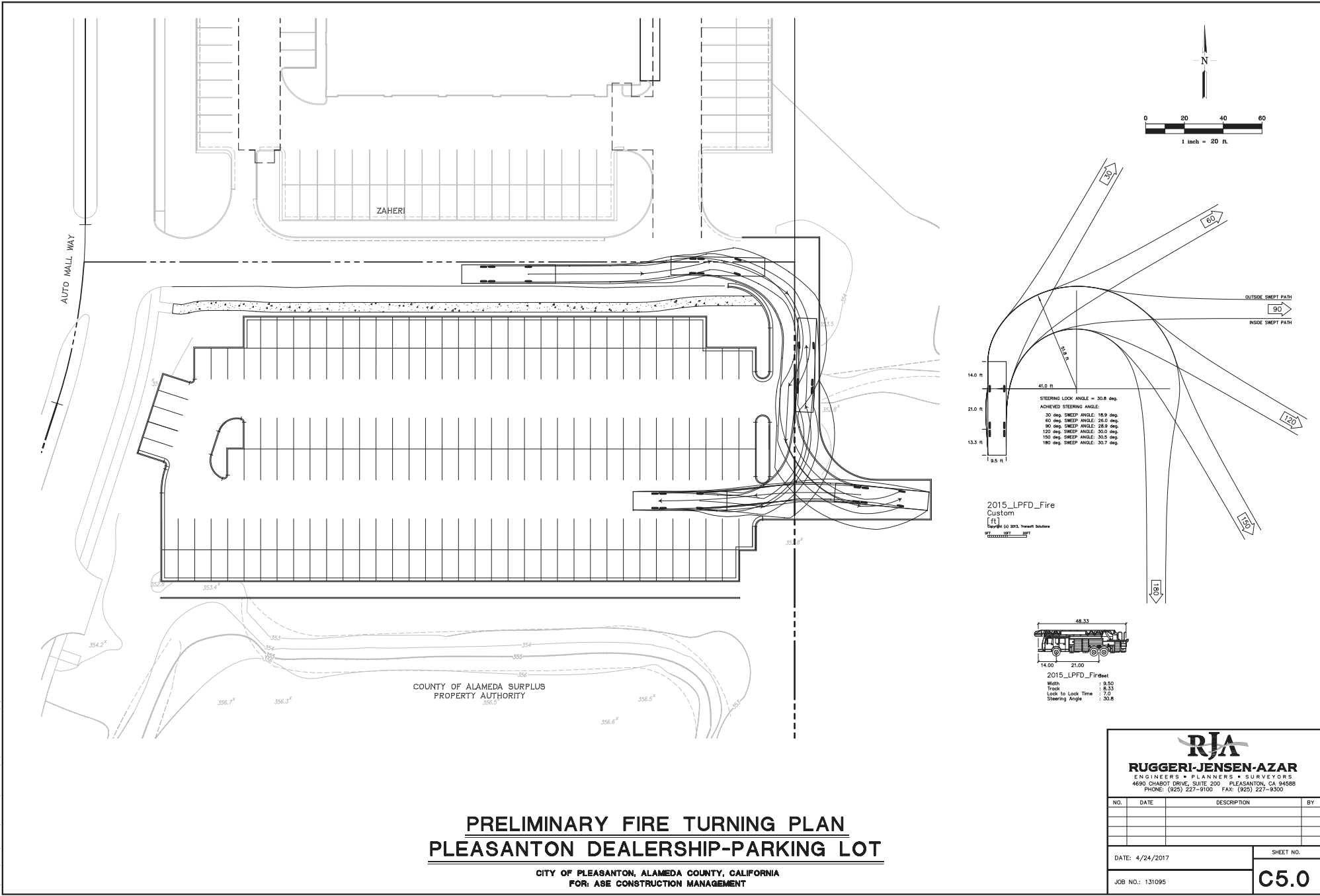
RJA
RUGGERI-JENSEN-AZAR
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 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

DATE: 4/24/2017
 SHEET NO. **C4.0**
 JOB NO.: 131095

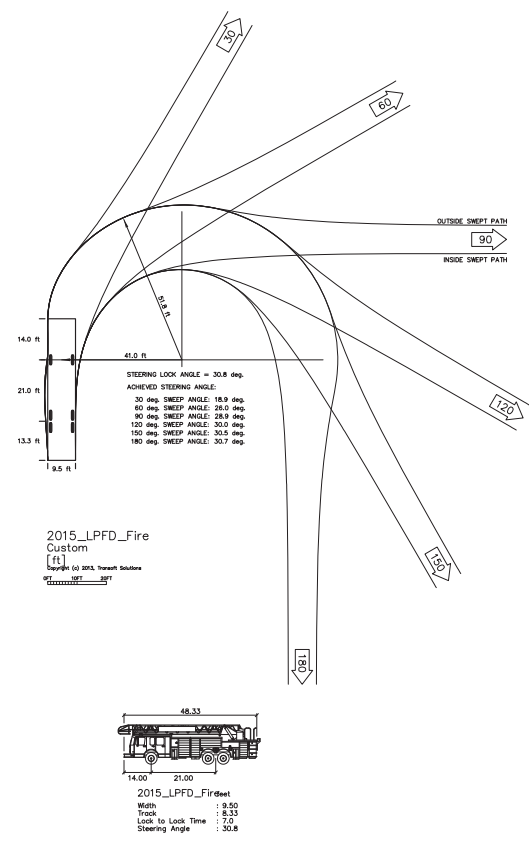
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**PRELIMINARY FIRE TURNING PLAN
PLEASANTON DEALERSHIP-PARKING LOT**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: ASE CONSTRUCTION MANAGEMENT



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NO.	DATE	DESCRIPTION	BY

DATE: 4/24/2017

JOB NO.: 131095

SHEET NO.

C5.0